

ZONING BOARD OF APPEALS
TOWN OF WEST HARTFORD
50 SOUTH MAIN STREET
WEST HARTFORD, CT 06107-2431
TEL: (860) 561-7555 FAX: (860) 561-7504
www.westhartfordct.gov

Petition # 14-19
Fee \$ 430

ZONING APPLICATION FOR: (check one of the following)

☒ VARIANCE

☐ SPECIAL EXCEPTION

☐ APPEAL RULING OF ZONING
ENFORCEMENT OFFICER

☐ MOTOR VEHICLE DEALER/
REPAIRER LOCATION APPROVAL

LOCATION OF PROPERTY 80 Pheasant Hill Drive
Westminster Drive R-10
(NEAREST CROSS STREET) (LOT #) (ZONING DISTRICT)

APPLICANT Beth & James T. Scully 80 Pheasant Hill Dr.
(NAME) (ADDRESS)
860-573-2590 bjja2@att.net
(TELEPHONE #) (EMAIL)

APPLICANT'S INTEREST IN PROPERTY Owner

RECORD OWNER OF PROPERTY Same as above
(Name) (Address)

DATE OF PROPERTY ACQUIRED BY PRESENT OWNER 09/24/2009

DESCRIBE YOUR APPLICATION: Include applicable sections of the Zoning Ordinance. For applications for a VARIANCE, state legal hardship. Attach second sheet, if necessary. This application must be accompanied by the required fee, site plan(s), and any other information required by the Zoning Ordinance, or Rules of the Board.

See attached

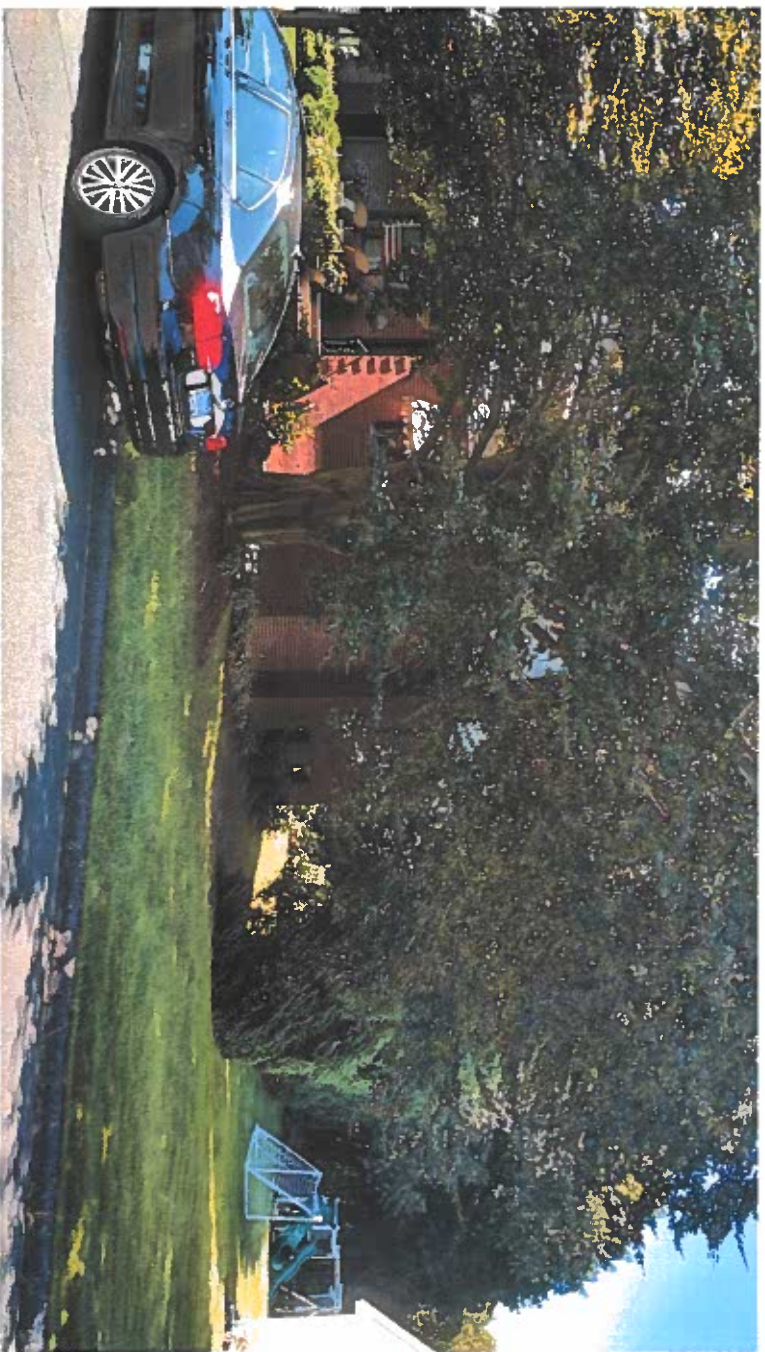
The undersigned warrants the truth of all statements contained herein and in all supporting documents to the best of his/her knowledge and belief. Furthermore, the applicant agrees that submission of this document constitutes permission and consent to Board and Staff inspections of the site. Note: Notice is hereby given the Connecticut Department of Public Health must be notified by applicants for any project located within a public water supply aquifer protection area or watershed area. (CTDPH website at <http://www.dph.state.ct.us>)

James T. Scully 8/28/19
SIGNATURE OF PROPERTY OWNER & DATE
(Also print or type clearly) James T. Scully
U:\SharedDocuments\ZBA\zba-zoningapplication_March2016

Beth Scully 8/28/19
Beth Scully

James T. Scully 8/28/19
SIGNATURE OF APPLICANT & DATE
(Also print or type clearly) James T. Scully

Beth Scully 8/28/19
Beth Scully



VARIANCE APPLICATION NARRATIVE

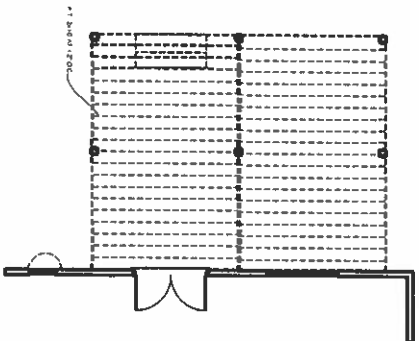
To whom it may concern:

A VARIANCE is being sought for the property located at 80 Pheasant Hill Drive for the following:

1. Request a variance from Section 177-20e, to allow the construction of a covered deck (25'-0" x 20'-0") that would extend past the Rear Building Setback Line by approximately 15'-0" on the north west side of the property. See Attached Site Plan.

We feel that the hardship relative to this variance is the fact that the property is on a corner lot where the front yard has a Building Setback line of 25'-0" and the subsequent side yard also has a Building Setback line of 25'-0" .

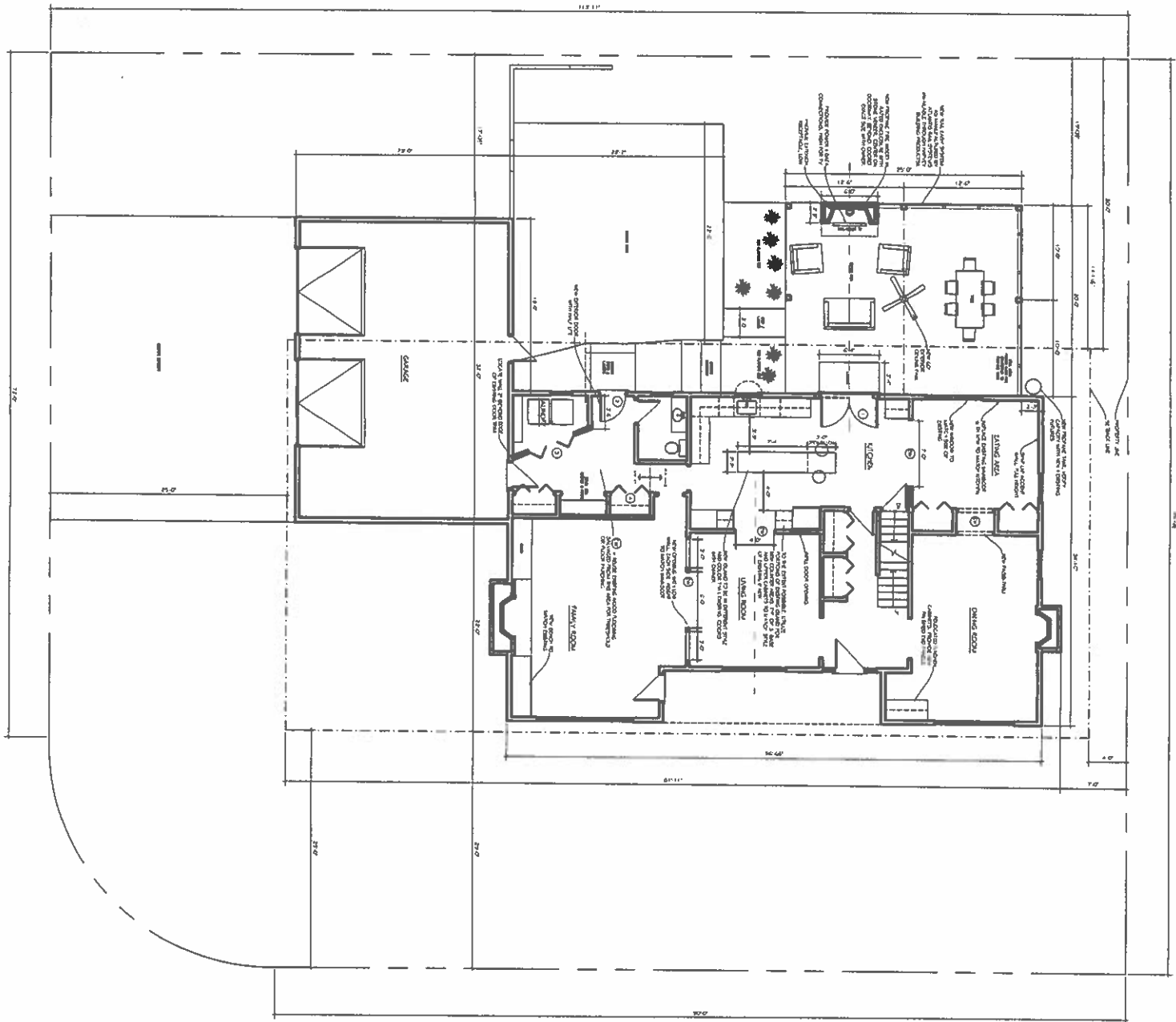
Additionally, the existing garage was subject of an approved variance which allowed the structure to extend past the rear setback line by approximately 13'-0" .



3 DECK FRAMING PLAN



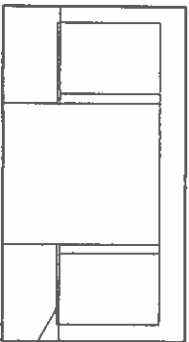
1 EXISTING / DEMOLITION FLOOR PLAN



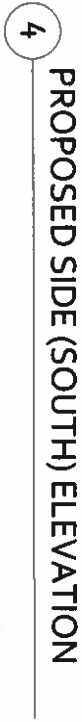
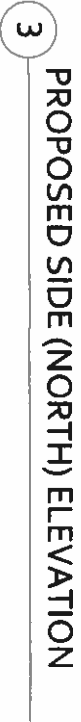
2 NEW WORK FLOOR PLAN & SITE PLAN



EXISTING CROSS



NEW OPENING
LIVING ROOM TO FAMILY ROOM



MAJOR NOTES:

1. ALL INSTRUCTIONS NOT IN VIEW SHALL BE GAZETTED. ALL VEHICLE PLATE NUMBERS FOR OTCING & LAUND SHALL BE STAMPED STRIT
2. ALL PATROLMEN, MANAGERS, ETC. SHALL BE INSTALED IN STRICT ACCORDANCE TO THE MANUFACTURERS WRITTEN INSTRUCTIONS.
3. ALL PORTS SHALL BE ANCHORED TO RESIST SHOCK CONCENTRATED LOAD OF 200 LBS